

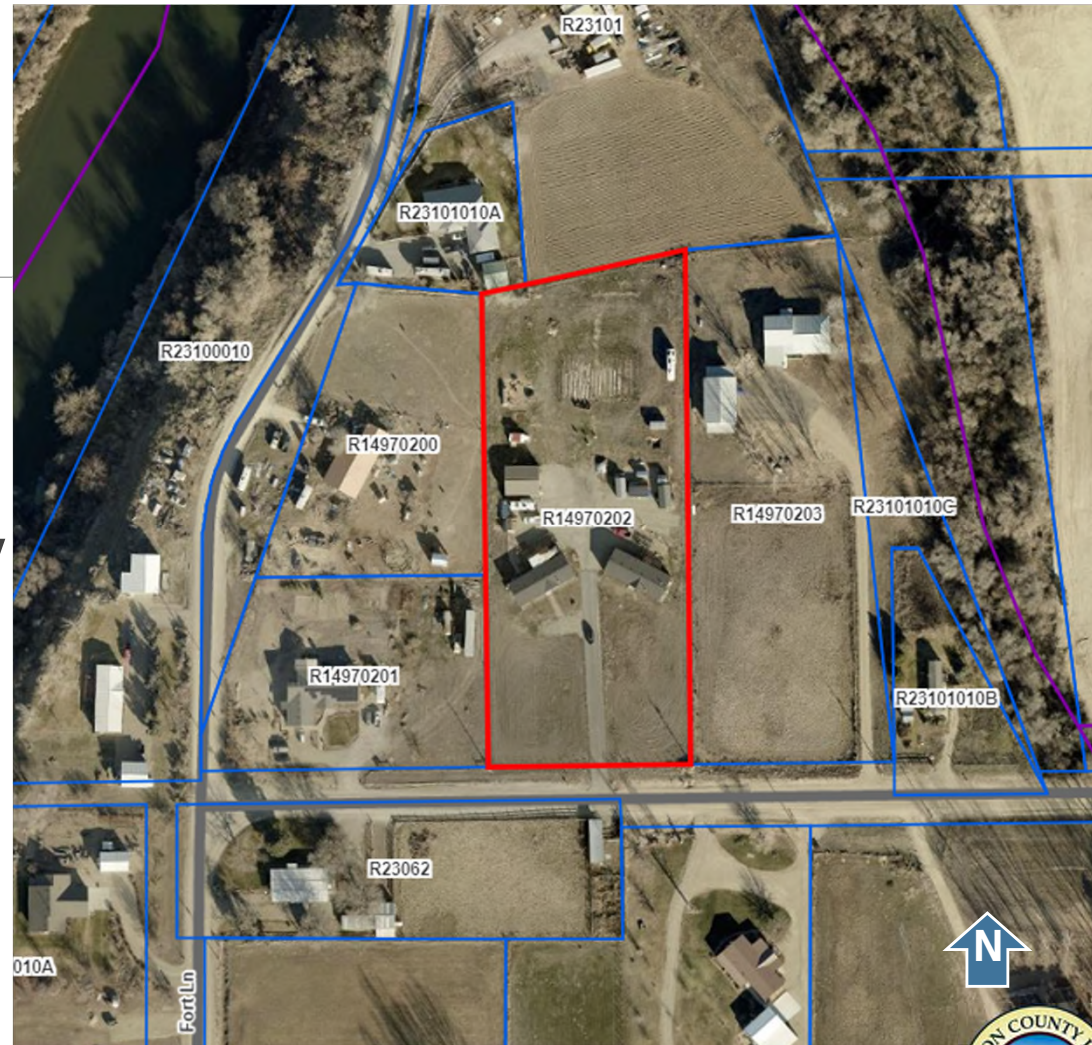
CR2025-0006 Desimini

APPLICANT/OWNER: KAREN DESIMINI

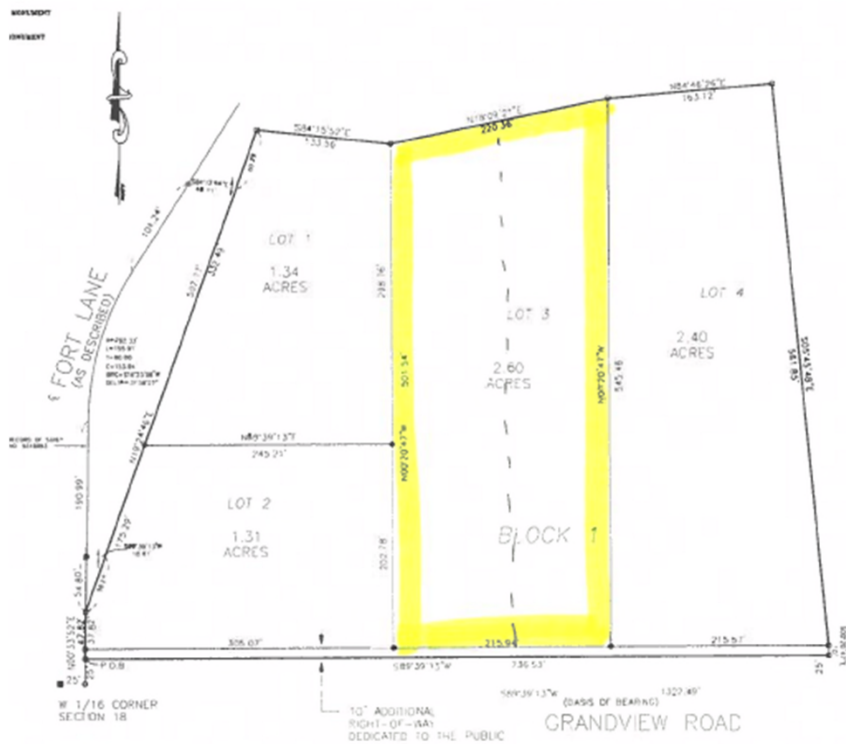


REQUEST:

- Conditional Rezone of Parcel R14970202 (2.6 acres) from “A” (Agricultural) zone to a “**CR-R1**” (Conditional Rezone-Single-Family Residential) zone.
- Development Agreement- a maximum of one division, and secondary residences are prohibited.



Site Plan



Existing
Secondary
Residence



Existing
Primary
Residence



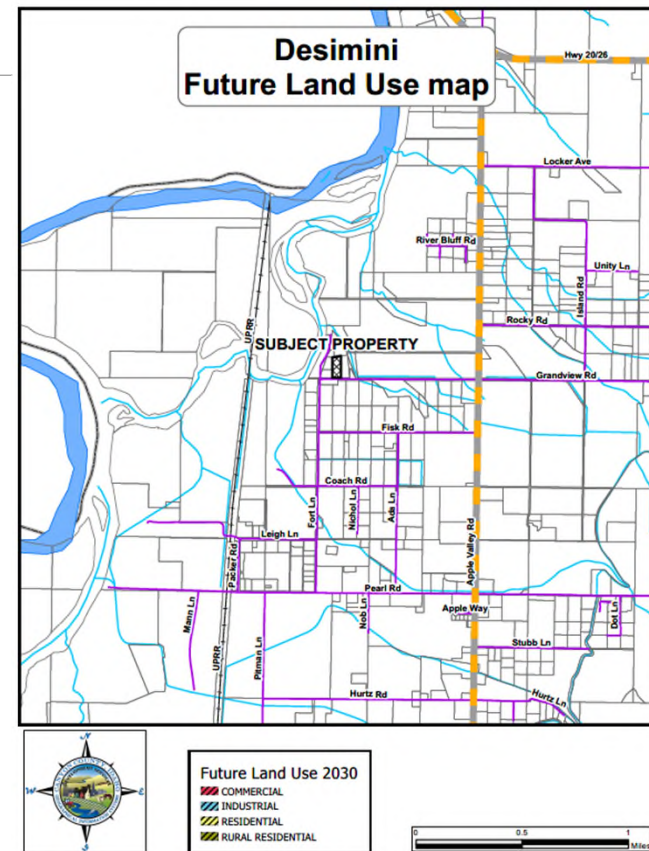
CONDITIONAL REZONE CRITERIA (07-06-07(6)A):

1. Is the proposed conditional rezone **generally consistent with the comprehensive plan**;
2. When considering the surrounding land uses, is the proposed conditional rezone **more appropriate than the current zoning designation**;
3. Is the proposed conditional rezone **compatible** with surrounding land uses;
4. Will the proposed conditional rezone negatively affect the **character of the area**? What measures will be implemented to **mitigate impacts**?
5. Will **adequate facilities and services** including sewer, water, drainage, irrigation and utilities be provided to accommodate proposed conditional rezone;
6. Does the proposed conditional rezone require public street improvements in order to provide **adequate access** to and from the subject property to minimize undue interference with existing or future traffic patterns? What measures have been taken to **mitigate traffic impacts**?
7. Does **legal access** to the subject property for the conditional rezone exist or will it exist at time of development; and
8. Will the proposed conditional rezone amendment **impact essential public services and facilities**, such as schools, police, fire and emergency medical services? What measures will be implemented to mitigate impacts? (Ord. 16-007, 6-20-2016)



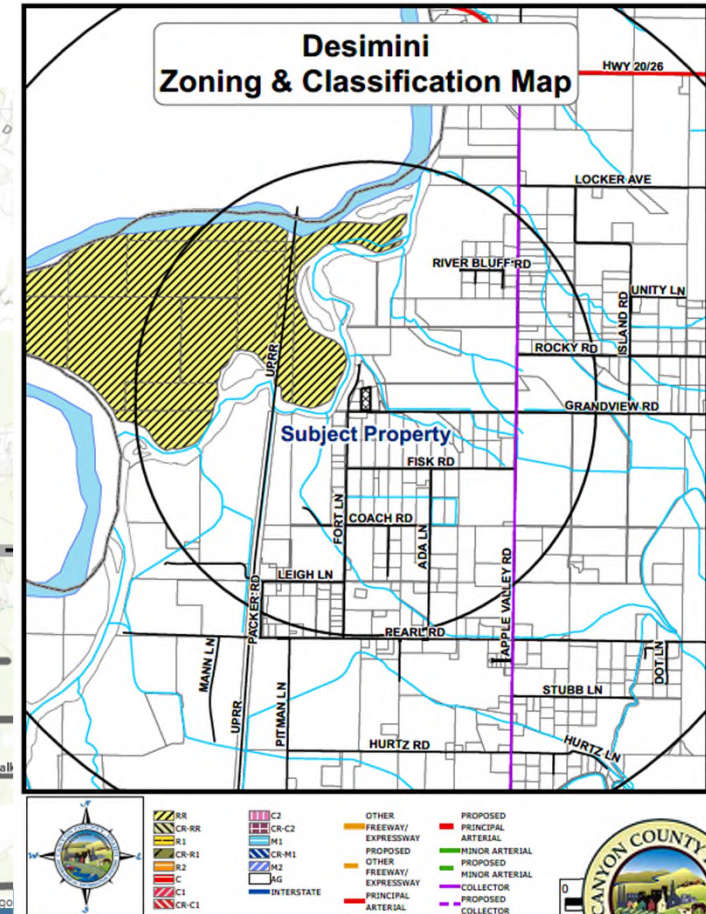
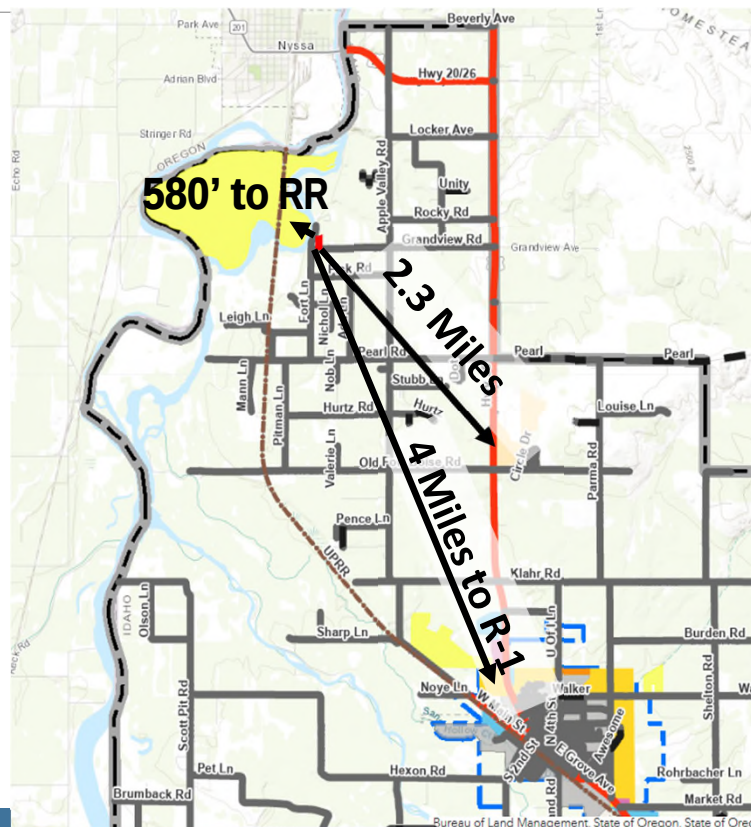
CONDITIONAL REZONE CRITERIA 1: COMPREHENSIVE PLAN CONSISTENCY

- 2030 Plan “Agriculture” designation for the property.
- Inconsistent with at least 3 goals and 7 policies of the 2030 Comprehensive Plan.



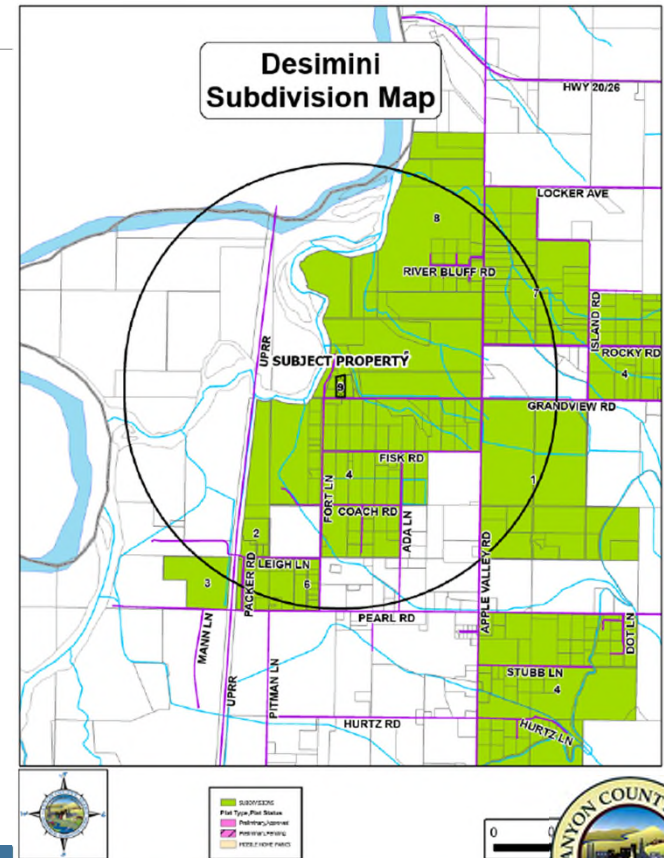
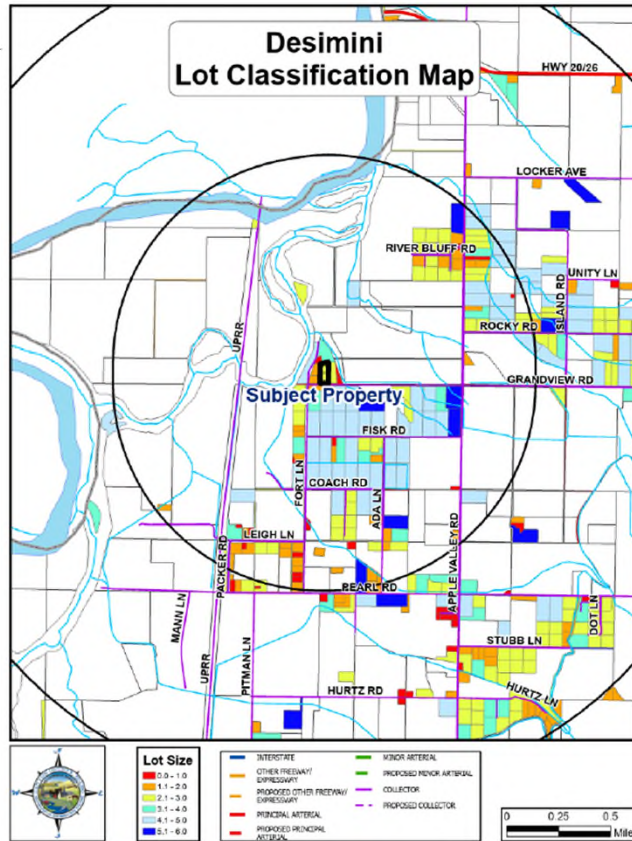
CONDITIONAL REZONE CRITERIA 2: APPROPRIATE ZONING

- Primarily Agricultural zoning
- Crop production found 400' to the east
- Nearest R-1 zoning is 4 miles to the SE
- No recent land use cases within a one-mile radius



CONDITIONAL REZONE CRITERIA 3 &4: COMPATABILITY & AREA CHARACTER

- Area character is residential and agricultural.
- Change only on the map, not on the ground.
- 9 subdivisions in a one-mile radius (9.56 average lot size).
 - 8 subdivisions from 1909-1911
- Mitigate impacts with a conditional rezone and prohibition on secondary residences.



CONDITIONAL REZONE CRITERIA 5: ADEQUATE FACILITIES AND SERVICES

- **Sewer:** Shared Septic Systems.
- **Water:** Shared Individual Well – Not in a Nitrate Priority Area.
- **Drainage:** Existing drainage maintained.
- **Irrigation:** No Surface Irrigation. Current groundwater rights.
- **Utility:** Poles along property boundary



CONDITIONAL REZONE CRITERIA 6-7: PUBLIC STREET IMPROVEMENTS, TRAFFIC, ACCESS

- ITD did not have concerns.
- Notus Parma Highway District
 - No additional approaches shall be permitted and a shared access easement shall be recorded.
- Not expected to generate additional vehicle trips.



CONDITIONAL REZONE CRITERIA 8:PUBLIC SERVICES AND FACILITIES

- **Schools, Police:** No comments were received.
- **Canyon County Paramedics:** No comments were received.
- **Fire Protection:** Parma Fire approved existing residences and driveway.

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Prd sk
#2704
Fee: \$85

 **PARMA RURAL FIRE PROTECTION DISTRICT**
29200 HWY 95/ PO Box 702
Parma Idaho, 83660
Driveway Construction Checklist/Inspection Form

Applicant Information

Address/ Location of Proposed Development: 29672 Grandview Rd Parma
Name: Garrett Tuttle Contact Phone #: 208-850-7026 Tax Lot #: _____

Instructions:
Step 1: Visit the Parma Rural Fire Department to obtain required access permit, approval and needed signature on this form. The Parma Fire Office is located at 29200 Hwy 95. Phone 208-722-5716
Step 2: Read driveway construction requirements listed below and fully construct the driveway to serve the proposed development. Existing driveways must fully meet these standards. Contact your local fire department if questions arise, particularly if grade issues may exist. Driveways will be expected to fully meet grade requirements. Fire Department contacts are listed on the reverse of this page.
Step 3: Complete the construction checklist and provide a signature stating that the driveway is fully constructed as required.
Step 4: Bring the Driveway Construction Checklist / Inspection Form to Parma fire department for final driveway inspection and approval. Do not submit this form to Parma fire department or request an inspection until the driveway is fully constructed and documented on this form. Contact your local fire department with any questions that may arise.
Step 5: Once approval is obtained from Parma Fire Department, return this form to Canyon County Planning Department. (Make a copy for your records)

Driveway Construction Requirements
The Parma Fire Department requires driveway improvements that are safe and passable prior to the issuance of a building permit. The primary reason for this requirement is to be assured road improvements are adequate for fire protection equipment to reach the site. Construct the driveway to the standards below and check completion for each construction point listed. Contact Parma fire department as construction questions arise. Fire Department contacts are listed on the reverse of this page.

- 20-foot travel time is required with 6 inches of base rock and 2 inches of surface rock. Your fire official may approve the delay of surface rock installation until the completion of the project, however 6" of base rock is always required.
- Turnouts 10 feet wide and 30 feet long are required on any access driveway exceeding 201 feet in length. If the planned driveway will be over 750' in length contact your local fire official to approve the location and quantity of turnouts.
- Horizontal clearance shall be not less than 20 feet. Vertical clearance not less than 14 feet. Trees and brush must be removed as needed along the proposed driveway.
- Driveways roads over 150 feet in length shall be provided with an approved turnaround at the end.
- Proper drainage must be provided. Culverts are required at the entrance to the driveway and ditches shall be provided along the driveway. Bridges and culverts shall be capable of supporting 75000 pounds as required by the local fire authority. Engineering documentation will be required for bridges.
- Average road grade shall not exceed 10%. If your site is sloped, contact the fire official immediately to discuss the issue and plan the best construction methods. Maximum curve centerline radius shall be not less than 30 feet.
- A permanent address sign must be installed at the base of the driveway. Address signs shall be posted in a position to be plainly visible and legible. Numbers shall be at least 2" in height and contrast with their background. See requirements for driveways serving multiple homes on the reverse page.

Note: If your proposed development site has not been issued an address from the county, disregard this step. Your local fire department will confirm address signage has been posted prior to issuance of a final occupancy permit.

I CHECK LIST MUST BE COMPLETED BY OWNER / BUILDER CONFIRMING COMPLETE CONSTRUCTION OF DRIVEWAY. BY SIGNING, I CERTIFY THE DRIVEWAY FOR THIS PROPOSED DEVELOPMENT IS COMPLETED TO THE ABOVE STANDARDS
Owner / Builder Signature: Garrett Tuttle Date: 6/8/22

THIS SECTION TO BE COMPLETED BY FIRE DEPARTMENT
Building Permit Approval: Driveway Improvements to the proposed development site are suitable for access by Fire Department equipment.
Conditional Approval: Driveway Improvements to the proposed development site are temporarily suitable for access by Fire Department equipment, however deficiencies exist. RE-INSPECTION REQUIRED PRIOR TO FINAL OCCUPANCY PERMIT.

Deficiencies (Circle any that apply)	Surface Rock Required Address Signage Needed	Additional Base Rock Required Turnouts Required	Turnaround Required
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Fire Official Name: Jeff Rodgers Fire Official Signature: Jeff Rodgers Date: 6/8/22
Certification of occupancy approved
Fire Official Name: Jeff Rodgers Fire Official Signature: Jeff Rodgers Date: 11/18/22

CANYON COUNTY- PLANNING DIVISION, JULY 23, 2026





Existing Homes (Facing N)



Existing Homes (Facing S)



Grandview Rd., Facing West



Grandview Rd., Facing East

NOTIFICATION (07-05-01) & COMMENTS:

Property Owners within 600' were notified on January 20, 2026, for the P&Z Hearing and June 23, 2026 for the BOCC Hearing:

- Two (2) public comments were received in opposition for the Planning and Zoning Commission.

Initial agency notice was sent on June 4, 2025. Agencies and a Full Political was sent out on January 20, 2026, and June 23, 2026, with a materials deadline of July 13, 2026. Staff received comments from the following agencies:

- Notus-Parma Highway District #2, Idaho Transportation Department, Southwest District Health, Idaho Department of Environmental Quality, Idaho Department of Water Resources – Floodplain & Water Resources, Parma Rural Fire District, Farmers Cooperative Ditch Company.



DECISION OPTIONS:

The Board of Canyon County Commissioners may **approve** the conditional rezone and direct staff to make findings of fact to support this decision;

The Board of Canyon County Commissioners may deny the conditional rezone; or

The Board of Canyon County Commissioners may **table or continue** the hearing to a later date and request additional information on specific items.



Questions?

